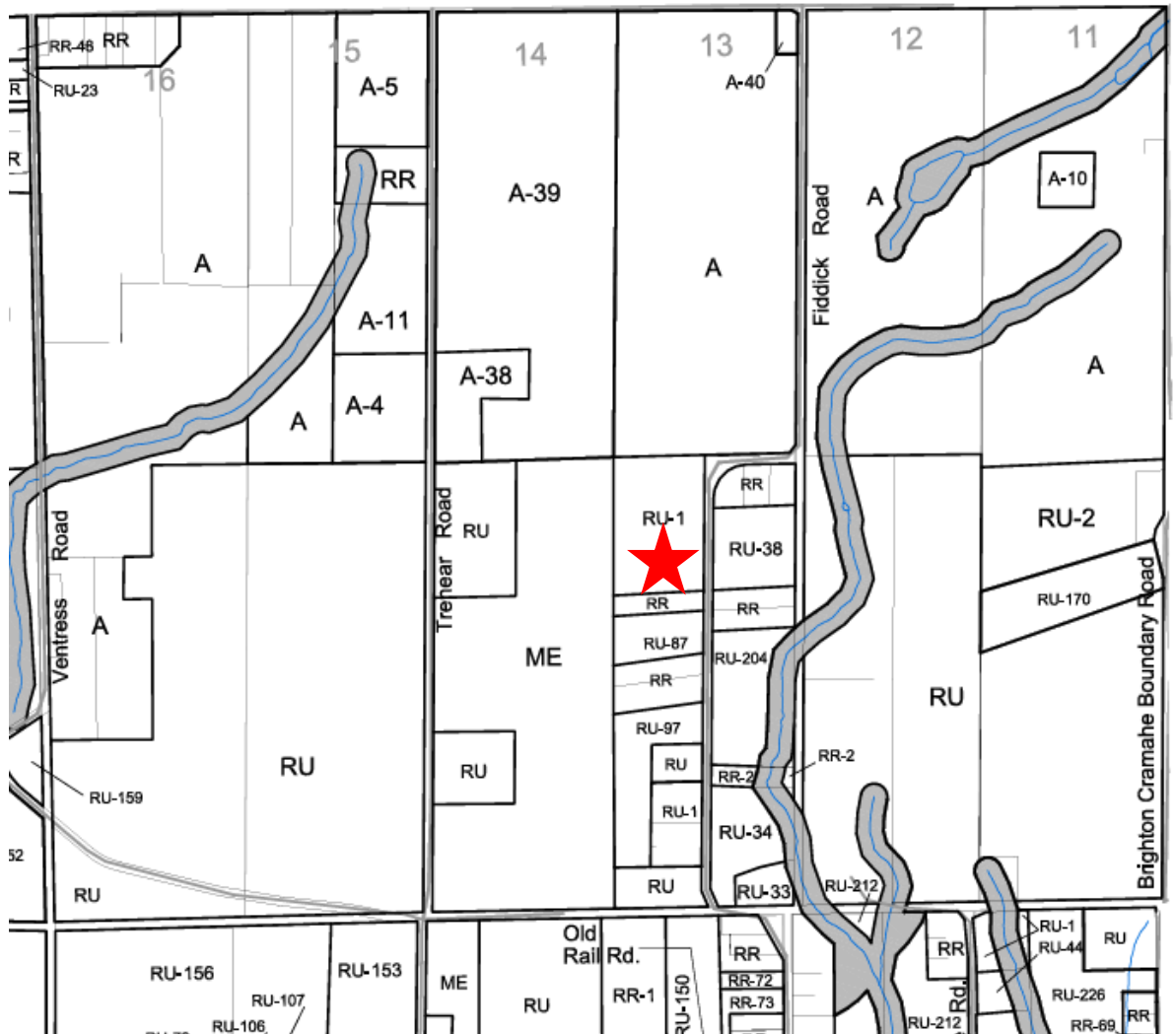


Zoning Information

426 Fiddick Road Cramahe



RU-1 – Rural Zone

BY-LAW NO. 08-18

**TOWNSHIP OF CRAMAHE
COMPREHENSIVE ZONING BY-LAW
Office Consolidation
June 2021**

5 SECTION 5 – RURAL (RU) ZONE

No person shall within any Rural (RU) Zone use any land or erect, alter or use any building or structure except in accordance with the following provisions:

5.1 PERMITTED USES

- 5.1.1** a single detached dwelling
- 5.1.2** a duplex dwelling
- 5.1.3** a converted dwelling containing a maximum of two dwelling units
- 5.1.4** an agricultural or farm use
- 5.1.5** a bed and breakfast establishment
- 5.1.6** a cemetery
- 5.1.7** a commercial dog kennel
- 5.1.8** a commercial greenhouse
- 5.1.9** a conservation area including recreation activities, nature study and wildlife areas, or other similar use as provides for the preservation of the natural environment
- 5.1.10** a day nursery
- 5.1.11** a farm produce outlet
- 5.1.12** a feed mill
- 5.1.13** forestry and reforestation
- 5.1.14** a garden nursery sales and supply establishment
- 5.1.15** a grain cleaning plant
- 5.1.16** a grain drying and storage facility
- 5.1.17** a group home
- 5.1.18** a home industry
- 5.1.19** a home occupation
- 5.1.20** a livestock sales barn
- 5.1.21** a portable asphalt plant
- 5.1.22** a riding or boarding stable
- 5.1.23** a veterinary clinic
- 5.1.24** a wayside pit or quarry

5.2 REGULATIONS FOR USES PERMITTED IN SECTION 5.1

5.2.1	Minimum Lot Area:	25.0 ha (61.77 ac.)
5.2.2	Minimum Lot Frontage:	150.0 m (492.13 ft.)
5.2.3	Minimum Front Yard Depth	12.0 m (39.37 ft.)
5.2.4	Minimum Exterior Side Yard Width	12.0 m (39.37 ft.)
5.2.5	Minimum Interior Side Yard Width	6.0 m (19.69 ft.)
5.2.6	Minimum Rear Yard Depth	12.0 m (39.37 ft.)
5.2.7	Minimum Dwelling Floor Area	92.9 m ² (1,000.0 ft. ²)
5.2.8	Maximum Building Height	11.0 m (36.09 ft.)
5.2.9	Maximum Lot coverage of All Buildings	10%
5.2.10	Maximum Number of Dwellings Per Lot	1
5.2.11	Maximum Number of Dwelling Units Per Lot	2

5.3 GENERAL ZONE PROVISIONS

All provisions of Section 4, General Zone Provisions, of this By-law where applicable to the use of any land, building or structure permitted within the Rural (RU) Zone shall apply.

5.4 SPECIAL RURAL (RU) ZONES**5.4.1 Rural-1 (RU-1) Zone**

Notwithstanding the minimum lot area and minimum lot frontage requirements for the Rural (RU) Zone to the contrary, within the Rural-1 (RU-1) Zone, the minimum lot area and minimum lot frontage requirements shall be as existing at the date of passing of this By-law.

5.4.2 Rural-2 (RU-2) Zone

Notwithstanding the minimum lot area and minimum lot frontage requirements for the Rural (RU) Zone to the contrary, within the Rural-2 (RU-2) Zone the minimum lot area and minimum lot frontage requirements shall be as existing at the date of passing of this By-law.