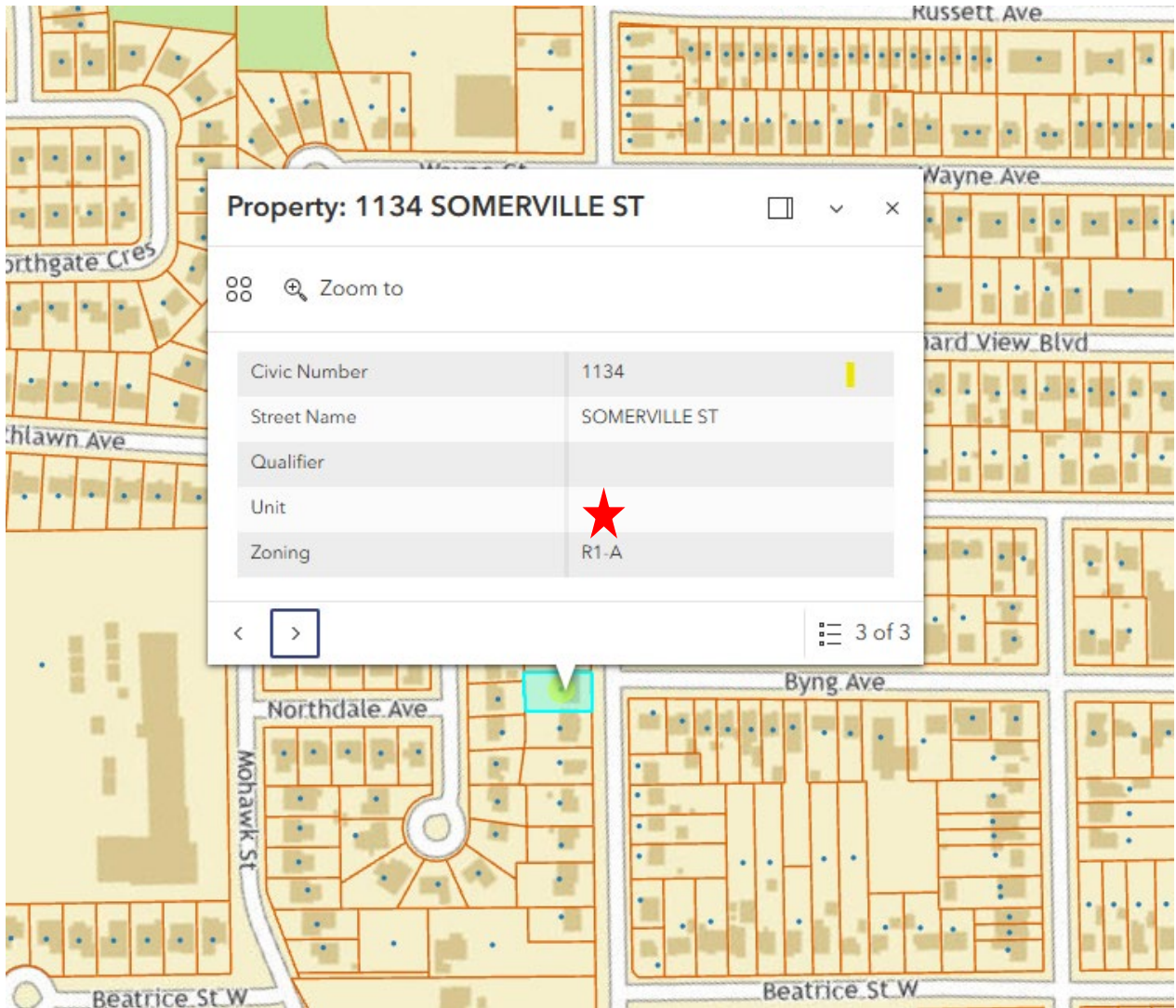


Zoning Map

1134 Somerville Street, Oshawa



R1-A



**Zoning By-law Number 60-94
as Amended**

Note:

- (a) This edition is prepared for the purposes of convenience only. For accurate reference, recourse should be made to the original by-law in the City Clerk's office.
- (b) Certain sections of this by-law are subject to appeal to the Ontario Land Tribunal. Please contact the Economic and Development Services Department for further information in this regard.
- (c) Other by-law amendments have been passed by City Council prior to the date of this edition but have yet to come into effect. As a result, these amendments are not reflected in this edition. Please contact the Economic and Development Services Department for further information in this regard.

Last Updated: December 2025

Section 6: R1 Residential Zones

6.1 Permitted Uses

6.1.1 No person shall within any R1 Zone use any land or erect or use any building or structure for any purpose or use other than the following use:

- (a) Single detached dwelling

6.2 Regulations

6.2.1 No person shall within any R1 Zone use any land or erect or use any building or structure except in compliance with the regulations as set out in Table 6.2 and this Subsection.

6.2.2 Notwithstanding the regulations set out in Table 6.2 to the contrary, any and all single detached dwellings constructed or to be constructed on lots or parts of lots within a plan of subdivision registered after January 1, 1987 and zoned R1-C may have a minimum front yard depth of 6.0m.

(66-1998)

Table 6.2 – Regulations for R1 Zones

Zones	R1-A	R1-B	R1-C	R1-D	R1-E	R1-F	R1-G	R1-H
Minimum Lot Frontage (m)	18.0	15.0	13.5	12.0	9.0	30.0	30.0	30.0
Minimum Lot Area (m ²)	540	450	405	360	270	1800	4000	6000
Minimum Front Yard Depth (m)	9.0	6.0	9.0 (see Article 6.2.2)	6.0	6.0	12.0	15.0	15.0
Minimum Interior Side Yard Depth (m)	1.2	1.2	1.2	1.2	For interior lots, 1.2m on one side only, and for corner lots 0.0m, provided however, that, for both interior and corner lots, in no case shall the distance between dwelling units be less than 1.2m	5.0	5.0	5.0

Zones	R1-A	R1-B	R1-C	R1-D	R1-E	R1-F	R1-G	R1-H
Minimum Exterior Side Yard Depth (m)	2.4	2.4	2.4	2.4	2.4	5.0	5.0	5.0
Minimum Rear Yard Depth (m)	7.5	7.5	7.5	7.5	7.5	10.5	10.5	10.5
Maximum Lot Coverage (%) ¹	40	40	40	40	40	20	10	20
Maximum Height (m)	9.0	9.0	9.0	9.0	9.0	10.5	10.5	10.5

¹ Maximum lot coverage of 45% permitted if the property has one or more accessory apartments and is serviced by municipal water and sanitary services as per Ontario Regulation 299/19.

(62-2000)

6.3 Special Conditions

6.3.1 The provisions of this Subsection apply to unique or existing situations and the zones are not the standard R1 Zones. Where there is any conflict between the provisions of this Subsection and any other provisions of this By-law, the provisions of this Subsection shall apply, but in the event that this Subsection is silent on any matter, then all other relevant provisions of this By-law shall apply.

6.3.2 R1-C(1) Zone (1265 King Street East)

6.3.2(1) Notwithstanding Subsection 5.3 and the definition of home occupation to the contrary, in any R1-C(1) Zone, as shown on Schedule “A” to this By-law, a chiropractic office may be permitted as a home occupation use provided the chiropractic office does not exceed 95m² of gross floor area.

6.3.3 R1-E(1) Zone (112 Annis Street) (91-1995)

6.3.3(1) Notwithstanding Article 4.9.3 to the contrary, not less than forty-five percent (45%) of the front yard shall be maintained as landscaped open space.

6.3.3(2) Notwithstanding Subsection 4.15 to the contrary, a maximum of two single detached dwelling units shall be permitted in any R1-E(1) Zone. **(60-2005)**

6.3.3(3) Notwithstanding Subsection 6.2 to the contrary, the following regulations shall apply to any R1-E(1) Zone:

- (a) A minimum interior side yard depth of 7.5m shall be provided between any dwelling unit and the rear lot lines of the properties municipally known as 116, 120 and 130 Annis Street.

- (b) A minimum northerly interior side yard depth of 17.0m shall be provided abutting CN Rail.
- (c) A minimum rear yard depth of 4.0m shall be provided.
- (d) A minimum distance separation of 2.4m shall be provided between each dwelling unit on the lot.
- (e) A minimum front yard depth of 25.0m shall be provided.

6.3.3(4) Notwithstanding Sentence 5.1.2(2) and 5.1.3(1) to the contrary, in any R1-E(1) Zone, the total combined lot coverage of all accessory buildings on a lot shall not exceed eight percent (8%) of the lot area and the maximum height of any accessory building or structure shall be 5.0m.
(45-2005)

6.3.4 **R1-B(1) Zone (east of Wilson Road North, north of Taunton Road East)** **(50-1997)**

6.3.4(1) Notwithstanding Subsection 6.2 to the contrary, the following regulations shall apply to any R1-B(1) Zone:

- (a) A minimum front yard depth of 4.5m shall be provided.
- (b) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.6m shall be provided on the other side of the dwelling unit.
- (c) For a corner lot, a minimum interior side yard depth of 0.6m shall be provided.

6.3.5 **R1-D(1) Zone (east of Wilson Road North, north of Taunton Road East)** **(50-1997)**

6.3.5(1) Notwithstanding Subsection 6.2 to the contrary, the following regulations shall apply to any R1-D(1) Zone:

- (a) A minimum front yard depth of 4.5m shall be provided.
- (b) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.6m shall be provided on the other side of the dwelling unit.
- (c) For a corner lot, a minimum interior side yard depth of 0.6m shall be provided.

6.3.6 **R1-C(2) Zone (55 Connaught Street)** **(63-1998)**

6.3.6(1) In addition to any R1-C use, in any R1-C(2) Zone, as shown on Schedule "A" to this By-law, a bed and breakfast establishment is also a permitted use.

- 6.3.32(3) The gross floor area devoted to a psychologist's office shall not exceed 150m².
- 6.3.32(4) The minimum floor area, excluding an attached private garage, devoted to the dwelling unit shall be 325m².
- 6.3.32(5) A maximum of three employees who do not reside in the dwelling unit may be permitted to work in the psychologist's office.
- 6.3.32(6) Notwithstanding any provision of this By-law to the contrary, a parking area accessory to the psychologist's office may be permitted in any yard provided it is located a minimum of 3.0m from a streetline.
- 6.3.33 **R1-A(1) Zone (east of Simcoe Street North, north of Conlin Road East) (128-2003)**
- 6.3.33(1) Notwithstanding the provisions of Subsection 6.2 of this By-law to the contrary, in any R1-A(1) Zone, as shown on Schedule "A" to this By-law, the following regulations shall apply:
- (a) A minimum lot area of 500m² shall be provided.
 - (b) A minimum front yard depth of 3.0m shall be provided.
 - (c) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.3m shall be provided on the other side of the dwelling unit.
 - (d) For a corner lot, a minimum exterior side yard depth of 2.0m shall be provided and a minimum interior side yard depth of 0.3m shall be provided.
 - (e) A maximum lot coverage of forty-five percent (45%) shall be permitted of which only forty-two percent (42%) shall be devoted to the main building. However, notwithstanding the foregoing, the maximum lot coverage shall be fifty percent (50%) for any lot with a bungalow of which only forty-seven percent (47%) shall be devoted to the main building.
 - (f) A maximum height of 11.5m shall be permitted.
- 6.3.33(2) Notwithstanding the provisions of Article 4.6.1 of this By-law to the contrary, in any R1-A(1) Zone, unenclosed porches may encroach a maximum 2.0m into a required minimum front yard and a maximum 1.0m into a required minimum exterior side yard, provided that steps providing access to an unenclosed porch may project to the front or exterior side lot line.
- 6.3.33(3) Notwithstanding the definition of lot coverage in Section 2 of this By-law to the contrary, in any R1-A(1) Zone, an unenclosed porch, with or without a cold cellar below, shall not be included in the calculation of lot coverage.

- 6.3.33(4) Notwithstanding any other provision of this By-law to the contrary, in any R1-A(1) Zone, an unenclosed porch is considered to comprise part of landscaped open space.
- 6.3.34 **R1-B(6) Zone (east of Simcoe Street North, north of Conlin Road East) (128-2003)**
- 6.3.34(1) Notwithstanding the provisions of Subsection 6.2 of this By-law to the contrary, in any R1-B(6) Zone, as shown on Schedule "A" to this By-law, the following regulations shall apply:
- (a) A minimum lot area of 415m² shall be provided.
 - (b) A minimum front yard depth of 3.0m shall be provided.
 - (c) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.3m shall be provided on the other side of the dwelling unit.
 - (d) For a corner lot, a minimum exterior side yard depth of 2.0m shall be provided and a minimum interior side yard depth of 0.3m shall be provided on the other side of the dwelling unit.
 - (e) A maximum lot coverage of forty-five percent (45%) shall be permitted of which only forty-two percent (42%) shall be devoted to the main building. However, notwithstanding the foregoing, the maximum lot coverage shall be fifty percent (50%) for any lot with a bungalow of which only forty-seven percent (47%) shall be devoted to the main building.
 - (f) A maximum height of 11.5m shall be permitted.
- 6.3.34(2) Notwithstanding the provisions of Article 4.6.1 of this By-law to the contrary, in any R1-B(6) Zone, unenclosed porches may encroach a maximum 2.0m into a required minimum front yard and a maximum 1.0m into a required minimum exterior side yard, provided that steps providing access to an unenclosed porch may project to the front or exterior side lot line.
- 6.3.34(3) Notwithstanding the definition of lot coverage in Section 2 of this By-law to the contrary, in any R1-B(6) Zone, an unenclosed porch, with or without a cold cellar below, shall not be included in the calculation of lot coverage.
- 6.3.34(4) Notwithstanding any other provision of this By-law to the contrary, an unenclosed porch is considered to comprise part of landscaped open space.

- (b) A minimum front yard depth of 3.0m shall be provided.
- (c) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.3m shall be provided on the other side of the dwelling unit.
- (d) For a corner lot, a minimum exterior side yard depth of 2.0m shall be provided and a minimum interior side yard depth of 0.3m shall be provided.
- (e) A maximum lot coverage of forty-five percent (45%) shall be permitted of which only forty-two percent (42%) shall be devoted to the main building.
- (f) A maximum height of 11.5m shall be permitted.

6.3.36(2) Notwithstanding the provisions of Article 4.6.1 of this By-law to the contrary, in any R1-E(4) Zone, unenclosed porches may encroach a maximum 2.0m into a required minimum front yard and a maximum 1.0m into a required minimum exterior side yard, provided that steps providing access to an unenclosed porch may project to the front or exterior side lot line.

6.3.36(3) Notwithstanding the definition of lot coverage in Section 2 of this By-law to the contrary, in any R1-E(4) Zone, an unenclosed porch, with or without a cold cellar below, shall not be included in the calculation of lot coverage.

6.3.36(4) Notwithstanding any other provision of this By-law to the contrary, in any R1-E(4) Zone, an unenclosed porch is considered to comprise part of landscaped open space.

6.3.37 R1-A(2) Zone (924 Townline Road North) (136-2003)

6.3.37(1) In addition to any R1-A use, in any R1-A(2) Zone, as shown on Schedule "A" to this By-law, an office for a chiropractor or naturopath, in conjunction with a dwelling unit within a single main building are also permitted uses provided any office use is located in the main building which lawfully existed on October 29, 2003. This provision does not prevent the existing dwelling unit from being enlarged for residential purposes, including the addition of an attached private garage.

6.3.37(2) The chiropractor that owns the chiropractor's office business shall be a resident of the dwelling unit.

6.3.37(3) The naturopath that owns the naturopath's office business shall be a resident of the dwelling unit.

6.3.37(4) The gross floor area devoted to an office use shall not exceed 160m² on the property.

6.3.49 **R1-D(12) Zone (east of Grandview Street North, south of Conlin Road East) (48-2006)**

6.3.49(1) Notwithstanding the provisions of Subsection 6.2 of this By-law to the contrary, in any R1-D(12) Zone, as shown on Schedule "A" to this By-law, the following regulations shall apply:

- (a) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.6m shall be provided on the other side of the dwelling unit.
- (b) For a corner lot, a minimum interior side yard depth of 0.6m shall be provided.
- (c) A minimum front yard depth of 4.5m shall be provided.
- (d) A maximum lot coverage of forty-five percent (45%) shall be permitted.
- (e) A maximum height of 10.5m shall be permitted.

6.3.50 **R1-E(17) Zone (east of Grandview Street North, south of Conlin Road East) (48-2006)**

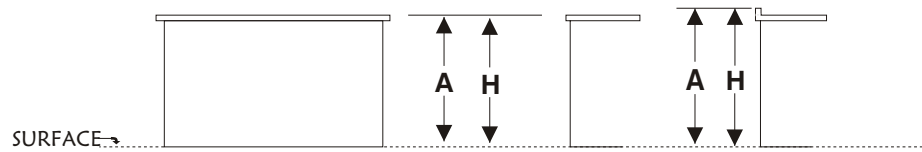
6.3.50(1) Notwithstanding the provisions of Subsection 6.2 of this By-law to the contrary, in any R1-E(17) Zone, as shown on Schedule "A" to this By-law, the following regulations shall apply:

- (a) A minimum lot frontage of 11.0m shall be provided.
- (b) A minimum lot area of 330m² shall be provided.
- (c) For an interior lot, a minimum interior side yard depth of 1.2m shall be provided on one side of the dwelling unit and a minimum interior side yard depth of 0.6m shall be provided on the other side of the dwelling unit.
- (d) For a corner lot, a minimum interior side yard depth of 0.6m shall be provided.
- (e) A minimum front yard depth of 4.5m shall be provided.
- (f) A maximum lot coverage of forty-five percent (45%) shall be permitted.
- (g) A maximum height of 10.5m shall be permitted.

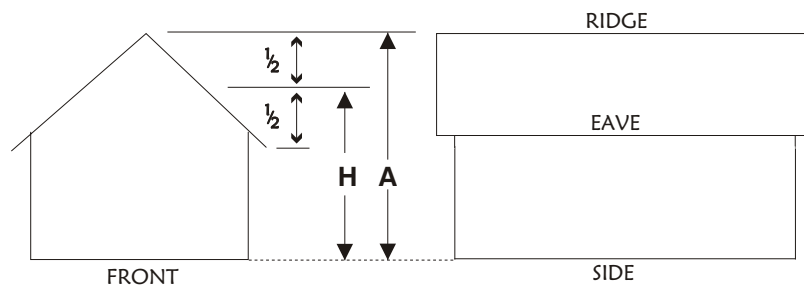
6.3.51 **R1-A(3) Zone (1231 Harmony Road North) (77-2007)**

6.3.51(1) In addition to any R1-A use, in any R1-A(3) Zone, shown on Schedule "A" to this By-law, an insurance and financial services office may be permitted within the main building which existed on July 3, 2007.

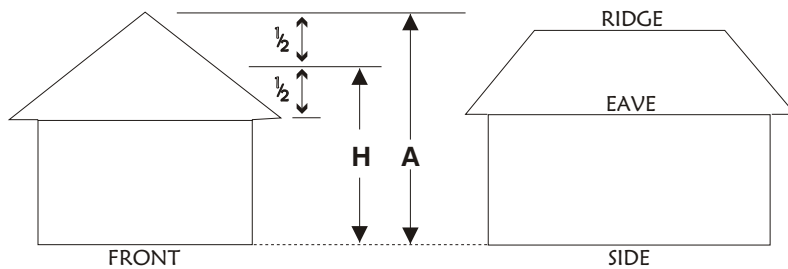
Illustration of Building Height Definitions



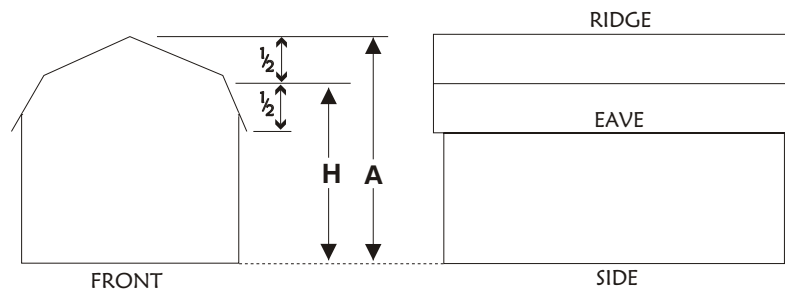
FLAT ROOF



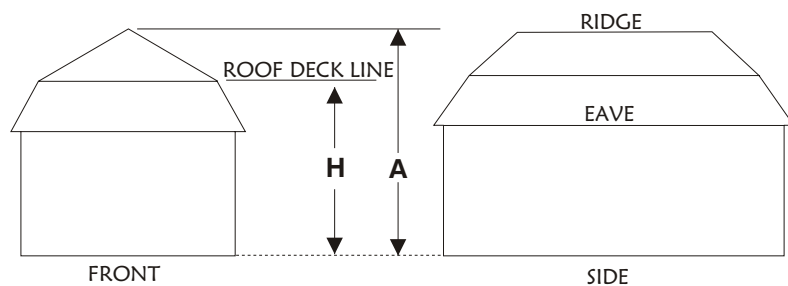
GABLE ROOF



HIP ROOF



GAMBREL ROOF



MANSARD ROOF

H = Height of Building
A = Height of Accessory Building in R1-A, R1-B, R1-C, R2, R3 and R5 [excluding accessory buildings for apartments] Zones

Note: The above illustrations are for clarification and convenience only and do not form part of this By-Law.