

Zoning Map

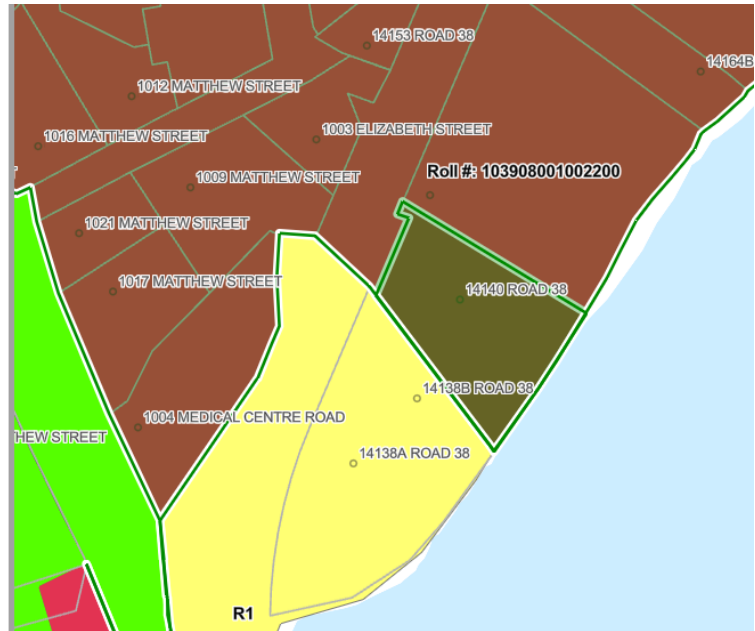
14140 Highway 38 Sharbot Lake

Identify results (2)

> Refine

☆ Roll #: 103908001002200

☆ Central Frontenac Zoning: C



C – General Commercial Zone



Zoning By-Law

2011-52

As adopted by Council
October 25, 2011

**By-law 2011-52 consolidated with
amendments to November 5, 2025**



Township of Central Frontenac

Tunnock Consulting Ltd.

5.7 GENERAL COMMERCIAL – C ZONE

No *person* shall *use* any land or *erect, alter* or use any *building* or *structure* in the General Commercial (C) Zone except in accordance with the provisions of this Section and of any other relevant Sections of this By-law.

5.7.1 Permitted Uses

- *Animal Shelter*
 - *Antique Store*
 - *Art Galley*
 - *Auto Rental Establishment**
 - *Auto Repair Garage*
 - *Auto Service Station (see also Section 4.3)**
 - *Automotive Sales Establishment**
 - *Bake Shop*
 - *Bakery*
 - *Bank or Financial Institution*
 - *Brewery or Winery*
 - *Building Supply Store**
 - *Call Centre*
 - *Car Wash **
 - *Catering Establishment*
 - *Cheese Factory/Outlet*
 - *Clinic*
 - *Commercial Greenhouse**
 - *Convenience Store*
 - *Drive-Through Facility (see also Section 4.11)*
 - *Equipment Rental Establishment**
 - *Farmer’s Market*
 - *Flea Market*
 - *Funeral Parlour*
 - *Garden Centre*
 - *Gasoline Bar (see also Section 4.3)**
 - *Gasoline Card Lock Facility**
 - *Green Energy Industries*
 - *Hotel/Motel*
 - *Refreshment Sales Vehicle**
 - *Live/Work Unit (see Section 4.20.4)*
 - *Office*
 - *Park*
 - *Parking Lot - Commercial*
 - *Personal Service Establishment*
 - *Place of Amusement*
 - *Place of Assembly*
 - *Place of Worship*
 - *Public Service Use /Public Utility (see Section 4.42)*
 - *Recreational Commercial Establishment*
 - *Recreational Vehicle Sales and Storage and Repair**
 - *Restaurant*
 - *Retail Store*
 - *Self-Storage Facility*
 - *Solar Collector*
 - *Studio*
 - *Tourist Establishment*
 - *Tourist Outfitters Establishment*
 - *Veterinary Establishment*
 - *Warehouse**
 - *Wellness Centre*
 - *Workshop or Custom Workshop*
 - Existing Residential Uses
- Accessory Uses, Buildings and Structures (see Section 4.1)*
- *Accessory Dwelling (see Subsection 5.7.3.1)*

- **Additional Residential Unit** (see Section 4.2)
- **Bed and Breakfast Establishment** (see Section 4.4)
- **Garden Suite** (see Section 4.2)
- **Home Based Business** (see Section 4.20)
- **Storage Container** (see Section 4.1.3)

5.7.2 Zone Requirements

Minimum Lot Area	5,000 m ² [1.25 ac.]
Minimum Lot Area – Mixed Use Building	5,000 m ² plus 0.4 ha for each dwelling unit
Minimum Lot Frontage	46 m [150.9 ft.]

Minimum Yard Requirements - Main Building

- Front Yard 7 m [22.9 ft.]
- Rear Yard 7 m [22.9 ft.]
- Interior Side Yard..... 3 m [9.8 ft.]
- Exterior Side Yard..... 7 m [22.9 ft.]

Maximum Building Height

- Main Building 10 m [32.8 ft.]
- Accessory Building 6 m [19.7 ft.]

Maximum Lot Coverage

- Main Building 40%
- Accessory Use, Buildings and Structures..... 5%

Maximum Number of Dwelling Units per Lot

- Mixed Use Building 8
- All other uses 1

Minimum Separation Distance between the Main Wall of a Detached Dwelling Unit and a commercial use	6 m [19.7 ft.]
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5.7.3 Additional Provisions

1. An **accessory dwelling** may be located within a **building** occupied by any commercial use except an automotive use or may be detached. Where the **dwelling unit** is detached, the minimum **lot area** shall be as set out in the General Residential (R1) Zone and shall be added to the minimum **lot area** in the General Commercial (C) Zone.

2. *Permitted uses* denoted with a * shall be permitted where the lot has frontage on and direct access to Highway 7 or Road 38 or a major arterial road within a settlement area.
3. Where a General Commercial (C) Zone abuts a *residential zone* or a *residential use* or a **sensitive land use** (e.g., *school*, hospital) on an adjacent *lot*, the *setback* on the abutting *yard* shall be a minimum of 7 m [22.9 ft.].
4. The minimum *yard* requirements may be reduced in the General Commercial (C) Zone where the lands are located in a built-up area and there is an *established building line* in accordance with **Section 4.12** of this By-law. [See also requirements for buffering in **Section 4.5**]
5. Despite the Maximum Number of *Dwellings Units* per Lot allowed in the General Commercial (C) Zone, an *additional residential unit* shall be *permitted* in accordance with; **Section 4.2**.
6. No *person* shall *erect* any *building* or *structure* in the General Commercial (C) Zone unless the *lot* upon which such *building* or *structure* is to be *erected* has *frontage* onto and direct access to a *public street*. [See also **Section 4.18**]
7. The minimum *separation distance* between the *main walls* of a *detached dwelling unit* and a commercial *building* shall be 6 m [19.7 ft.].
8. All applicable *zone regulations* of **Section 4 – General Provisions** shall apply.

5.7.4 Exception Zones

1. C-X1, Part of Lot 14, Concession 3, RP 13R1204, Township of Kennebec

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 1 (C-X1) Zone on any Schedule to this By-law, the following *zone regulations* shall apply:

Permitted Uses

- | | |
|-----------------------------------------|----------------------------------------------|
| • <i>Antique store</i> | • <i>Office</i> |
| • <i>Auto Repair Garage</i> | • <i>Parking Lot</i> |
| • <i>Automotive Sales Establishment</i> | • <i>Personal Service Establishment</i> |
| • <i>Building Supply Store</i> | • <i>Recycling Depot or Transfer Station</i> |
| • <i>Contractor's Yard</i> | • <i>Retail Store</i> |
| • <i>Craft Shop</i> | • <i>Warehouse</i> |
| • <i>Farm Produce Outlet</i> | |
| • <i>Gasoline Bar</i> | |

Additional Provisions

Any *recycling depot or transfer station* shall be subject to the approval of the Ministry of the Environment, Conservation and Parks.

2. **C-X2, Part of Lots 15 & 16, Concession 10, Olden**

(By-law 1099-91 and 1149-93, Olden)

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 2 (C-X2) Zone on any Schedule to this By-law, following *zone regulations* shall apply:

Permitted Uses

- *Campground*
- *Gasoline Bar*
- *Laundromat*
- *Miniature Golf*
- *Motel*
- *Restaurant*

3. **C-X3, Part of Lot 12, Concession 1, Olden**

(By-law 1099-91 and 1149-93, Olden)

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 3 (C-X3) Zone on any Schedule to this By-law, following *zone regulations* shall apply:

Permitted Uses

- *Office*
- *Single Detached Dwelling*

4. **C-X4, Part of Lot 14, Concession 1, Oso**

(By-law 1115-92, Oso)

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 4 (C-X4) Zone on any Schedule to this By-law, following *zone regulations* shall apply:

Permitted Uses

- *Office*
- *Single Detached Dwelling*
- *Accessory Dwelling Unit* (see Section 4.2)
- *Printing and Publishing Establishment*
- Vacuum cleaner sales and service outlet

5. **C-X5, Plan 113 Lot 42, PT Lot 52 RP-13R12574 PARTS 8 & 9, Oso**

(By-law 1202-95-Oso, and By-law 2001-95)

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 5 (C-X5) Zone on any Schedule to this By-law, following *zone regulations* shall apply:

Maximum Lot Coverage..... 30%
Minimum depth of a *parking space* abutting Garrett Street.....4.5 m [14.7 ft.]

The minimum number of *parking spaces* to be provided on Lot 42, Plan 113, shall be six (6), and shall include five (5) and one additional space in the *garage*. Other parking spaces totalling (5) in number shall be provided on an alternative lot located within 150 m [492.1 ft.] of Lot 42, Plan 113.

6. C-X6, Part of Lot 12, Concession 1, Oso (By-law 2000-73)

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 6 (C-X6) Zone on any Schedule to this By-law, the following regulations shall apply:

Minimum Number of *Parking spaces* (for an office use).....5
Two parking spaces may encroach on the Elizabeth Street road allowance.

Minimum Width of *Buffer Strip* along south lot line 1 m [3.28 ft.]

7. C-X8, Part of Lot 12, Concession 1, Sharbot Lake, Oso

(By-law 2006-202)

Despite any provision of Section 5.7 to the contrary, on land identified as General Commercial Exception 8 (C-X8) Zone on any Schedule to this By-law, following *zone regulations* shall apply:

Permitted Uses

- Resource Centre, Non-profit
- All uses permitted in the General Commercial Zone

Zone Requirements

Minimum Lot Area..... 0.47 ha [1.16 ac.]
Minimum Lot Frontage..... 135.8 m [445.5 ft.]
Minimum Rear Yard.....1.82 m [6 ft.]

8. C-X10, Part of Lot 13, Concession 1, Village of Sharbot Lake (By-law 2005-172)

Despite any provision of Section 5.7 to the contrary, on land identified as General

Commercial Exception 10 (C-X10) Zone on any Schedule to this By-law, following *zone regulations* shall apply:

Permitted Uses

- *Office*

Zone Standards

Minimum Lot Area.....0.22 ha [0.54 ac]
Minimum Lot Frontage.....40.6 m [133.26 ft]

10. C-X11, Part of Lot 3, Concession 4, Hinchinbrooke

(By-law 2009-295, Central Frontenac)

Despite any other provisions of this Zoning By-law to the contrary, on lands identified as General Commercial Exception 11 (C-X11) Zone, following *zone regulations* shall apply:

Minimum Lot Area.....46 ha [1.13 ac.]
Minimum Lot Frontage.....38.1 m [125 ft.]

11. C-X12, Part of Lots 14 and 15, Concession 2, Oso

(By-law 2016-20)

Zone Regulation

Permitted Uses

- *Self-Storage Facilities*

Additional Provisions

Minimum Lot Frontage 0 m [0 ft.]

12. C-X13, Part of Lot 16, Concession 9, Kennebec

(By-law 2019-41)

Despite any other provision of this by-law, to the contrary, the lands zoned General Commercial Exception Zone 13 (C-X13), shall be *used* only in accordance with the following:

- (a) The minimum yard requirements for the main building front yard depth shall be 11.5 m.
- (b) A refreshment vehicle shall be a permitted use.
- (c) The width of any entrance or exit or combined entrance or exit measured at the front lot line shall not be greater than 10 m.
- (d) That all other provisions including permitted uses of the General Commercial Zone of By-law No. 2011-52 shall continue to apply.